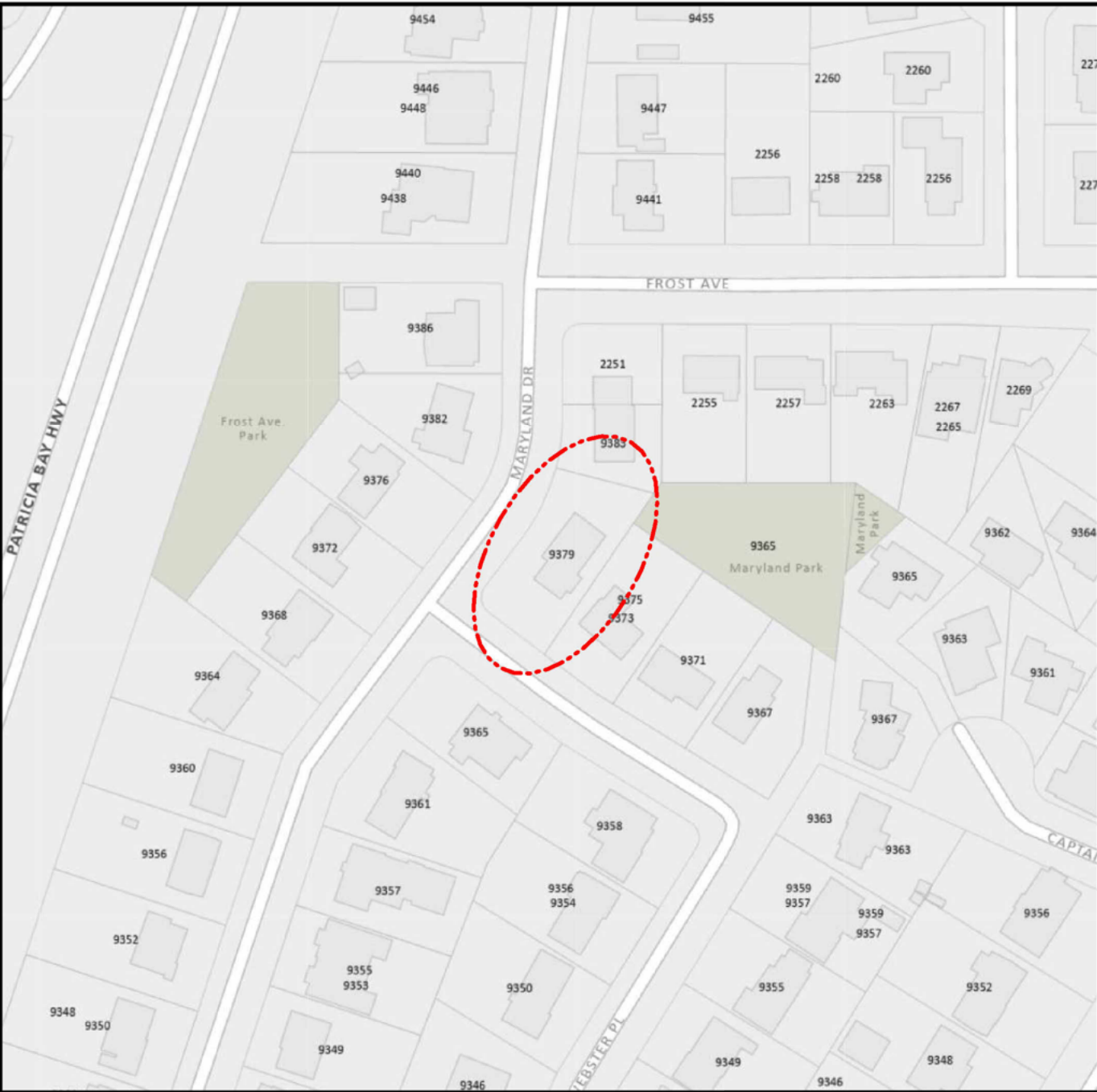


NEW CUSTOM HOME:

9379 Maryland Dr.

SIDNEY, BC

KEY PLAN:



R2 ZONING ANALYSIS:

LOT AREA:	972.0m2	
FLOOR ELEVATIONS:	MAIN FLOOR:	8.60m
	GARAGE SLAB:	8.45m
AVERAGE GRADE:	8.44m	
F.S.R:	ALLOWABLE	PROPOSED
	NO RESTRICTION	N/A
GROSS FLOOR AREA:	ALLOWABLE	PROPOSED
MAIN FLOOR:		165.4m2
GARAGE:		45.8m2
TOTAL:		211.2m2
LOT COVERAGE:	ALLOWABLE	PROPOSED
UNIT A:		215.4m2 (SEPARATE PERMIT)
UNIT B:		215.4m2
TOTAL:	45.0% (437.4m2)	44.3% (430.8m2)
HEIGHT:	ALLOWABLE	PROPOSED
HOUSE:	10.50m	4.76m
SETBACKS:	ALLOWABLE	PROPOSED
FRONT (S):	4.50m	22.08m
REAR (N):	4.50m	4.52m
SIDE (W):	3.00m	3.03m
SIDE (E):	2.00m	2.04m

PROJECT INFORMATION:

SITE ADDRESS: 9379 MARYLAND DRIVE
SIDNEY, BC
V8L 2R3

LOT 26, PLAN VIP17139, SECTION 7&8,
RANGE 3E, NORTH SAANICH LAND
DISTRICT

SCOPE OF WORK:

CONSTRUCTION OF TWO NEW SINGLE FAMILY DWELLINGS

PROJECT DIRECTORY:

DESIGNER: HOYT DESIGN CO.
250.999.9893
HELLO@HOYT.CO

GENERAL CONTRACTOR: TBD

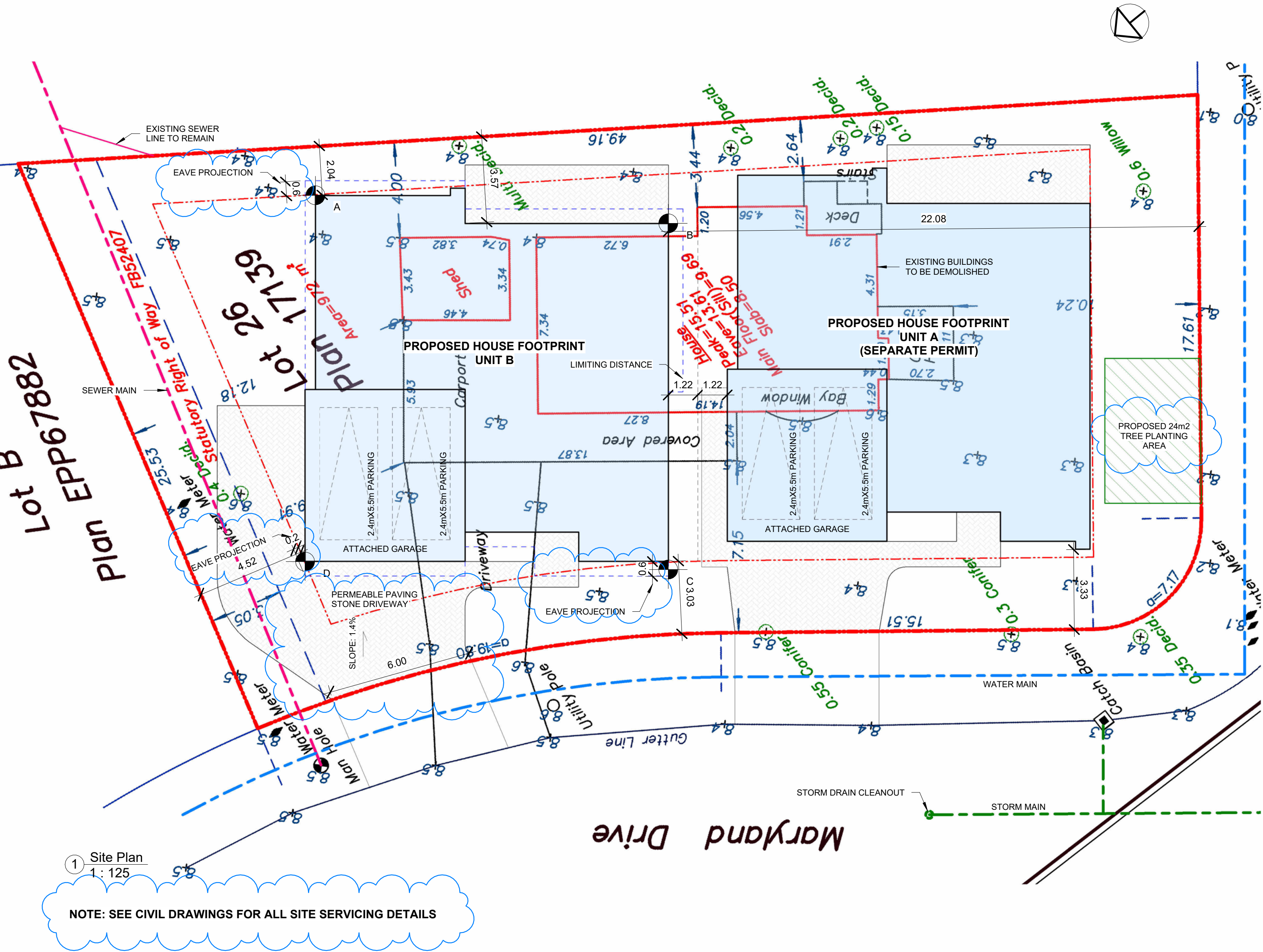
STRUCTURAL ENGINEER: TBD

SURVEYOR: WEY MAYENBURG LAND SURVEYING
250.656.6155
BRENT@WEYSURVEYS.COM

SHEET INDEX:

- A0.0 COVER SHEET
- A1.1 FOUNDATION & MAIN FLOOR PLAN
- A1.2 CLERESTORY & ROOF PLAN
- A2.1 ELEVATIONS
- A3.1 SECTIONS & ASSEMBLIES
- A4.1 DETAILS

SERVICE CONNECTIONS:	
1.	HDC IS NOT RESPONSIBLE FOR THE DESIGN AND/OR LOCATION OF SERVICE CONNECTIONS. IT IS THE RESPONSIBILITY OF THE OWNER / CONTRACTOR, PRIOR TO CONSTRUCTION TO:
.1	PHYSICALLY LOCATE ALL STORM & SEWER CONNECTIONS FOR THE SITE
2	CONFIRM INVERT / CONNECTION ELEVATIONS FOR THE STORM AND SEWER SYSTEMS
3	ENSURE THAT BUILDING ELEVATIONS (ALL FLOORS, CRAWLSPACE AND/OR DESIGN OF PUMPED DRAINAGE SYSTEMS (WHERE NECESSARY) TO BE BY OTHER
2	COMMENCEMENT OF CONSTRUCTION OR ANY PART THEREOF CONSTITUTES ACCEPTANCE OF THE DRAWINGS, ACCEPTANCE OF THE SITE CONDITIONS, AND MEANS DIMENSIONS AND ELEVATIONS HAVE BEEN CONSIDERED, VERIFIED, AND ARE ACCEPTABLE



EXTERIOR SIDE YARD DRIVEWAY AND PARKING COVERAGE	
AREA OF EXTERIOR SIDE YARD:	117.0m2
PERCENTAGE OF COVERAGE ALLOWABLE:	50.0%
AREA OF COVERAGE ALLOWABLE:	58.5m2
AREA OF COVERAGE PROPOSED:	46.3m2
PERCENTAGE OF COVERAGE PROPOSED:	39.6%

AVERAGE GRADE CALC.	
POINT	ELEVATION (HOUSE)
A	8.40m
B	8.40m
C	8.48m
D	8.51m
TOTAL	33.79 / 4 = 8.44m

GENERAL NOTES:

- All drawings, plans, models, designs, specifications and other documents prepared by Hoyt Design Co (HDC) and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of HDC whether the work is executed or not, and HDC reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
- It is the responsibility of the Contractor to verify all dimensions, elevations, and site conditions as applicable to the project and the proposed work. The Contractor shall notify the Designer of any errors, omissions or discrepancies identified within the drawings prior to commencement of the work. Commencement of construction or any part thereof constitutes acceptance of the drawings, acceptance of the existing site conditions, and means dimensions and elevations have been considered, verified and are acceptable.
- The Contractor shall work with a B.C.L.S. to verify compliant placement, siting and elevation of the proposed buildings or structures on the property prior to commencing the work. HDC is not responsible for any encroachments with respect to elevation, siting or placement. Any proposed changes with respect to elevation, siting or placement shall be confirmed with a B.C.L.S. prior to execution.
- The Contractor shall engage a Professional Engineer licensed in the Province of BC for the design and field review of all structural components and systems within the work as required by the Authority Having Jurisdiction. Prior to commencement of the work, the Contractor shall notify HDC of any changes to the design required by the Structural Engineer, house manufacturer or other engineered component supplier.

PROJECT

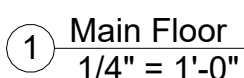
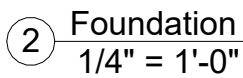
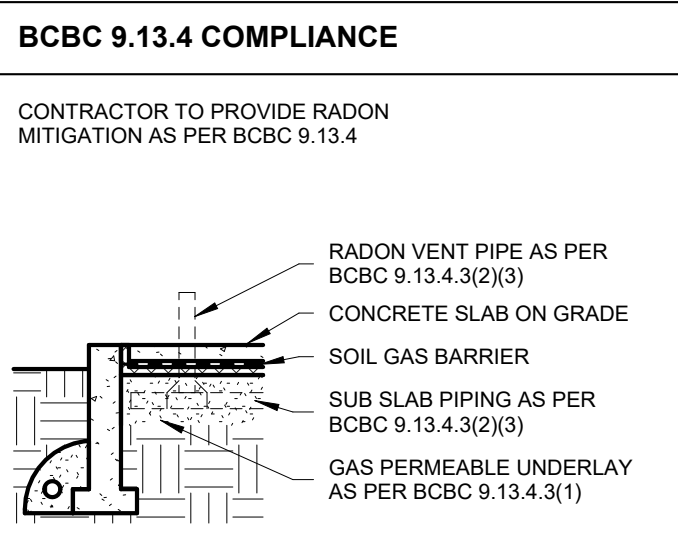
9379 Maryland:
Unit B
2528

ISSUE DATE: 26May12 REV 5

No.:	Description:	Date:
1	Concept 1	25July04
2	Issue for Engineering	25July05
3	Issue for Eng. Rev.1	25Oct03
4	Issue for Permit	26Mar03
5	Issue for Permit Rev.1	26May12

Site Plan & Zoning
Analysis

A0.0

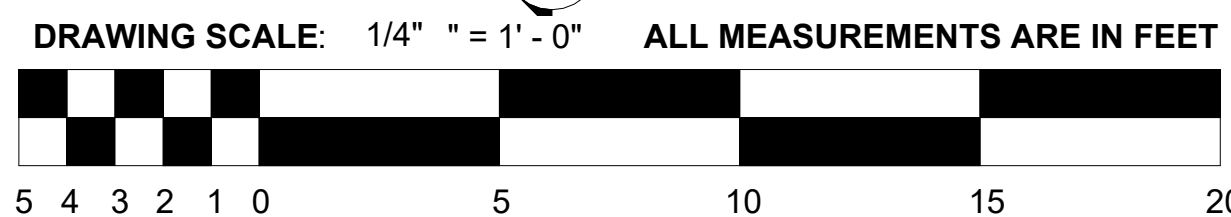


FRAMING NOTES:

1. ALL FRAMING TO BE IN ACCORDANCE WITH THE 2024 BC BUILDING CODE
2. ALL LUMBER TO BE SPF/K OR BETTER UNLESS NOTED OTHERWISE
3. ALL EXTERIOR WALL AND ROOF SHEATHING TO BE 1/2" STANDARD FIR PLYWOOD UNLESS NOTED OTHERWISE
4. ALL EXPOSED EXTERIOR POSTS TO BE 6X6 MIN.
5. ALL LIMES TO BE 2-PLY 2X10 U.N.O.
6. ALL CONCRETE TO BE MINIMUM 28MPA AT 28 DAYS
7. ALL INTERIOR DOORS TO PROVIDE MIN. 2-STUDS E/S AT JAMB FRAMING
8. TYPICAL DOOR / WINDOW HEAD HEIGHT: 8'
9. ALL EXPOSED EXTERIOR FRAMING TO BE PRESERVATIVE TREATED LUMBER; FIELD TREAT ALL CUTS
10. DESIGN LOADS:
SIDNEY: S: 1.6kPa
Sr: 0.2kPa

Date:	Description:	No.:
5July04	Concept 1	1
5July25	Issue for Engineering	2
5Oct23	Issue for Eng. Rev.1	3
6Mar03	Issue for Permit	4
6May12	Issue for Permit Rev.1	5

A1.1



GENERAL NOTES:

- All drawings, plans, models, designs, specifications and other documents prepared by Hoyt Design Co (HDC) and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of HDC whether the work is executed or not, and HDC reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
- It is the responsibility of the Contractor to verify all dimensions, elevations, and site conditions as applicable to the project and the proposed work. The Contractor shall notify the Designer of any errors, omissions or discrepancies identified within the drawings prior to commencement of the work. Commencement of construction or any part thereof constitutes acceptance of the drawings, acceptance of the existing site conditions, and means dimensions and elevations have been considered, verified and are acceptable.
- The Contractor shall work with a B.C.L.S. to verify compliant placement, siting and elevation of the proposed building or structures on the property prior to commencing the work. HDC is not responsible for any encroachments with respect to elevation, siting or placement. Any proposed changes with respect to elevation, siting or placement shall be confirmed with a B.C.L.S. prior to execution.
- The Contractor shall engage a Professional Engineer licensed in the Province of BC for the design and field review of all structural components and systems within the work as required by the Authority Having Jurisdiction. Prior to commencement of the work, the Contractor shall notify HDC of any changes to the design required by the Structural Engineer, mass manufacturer or other engineered component supplier.

PROJECT

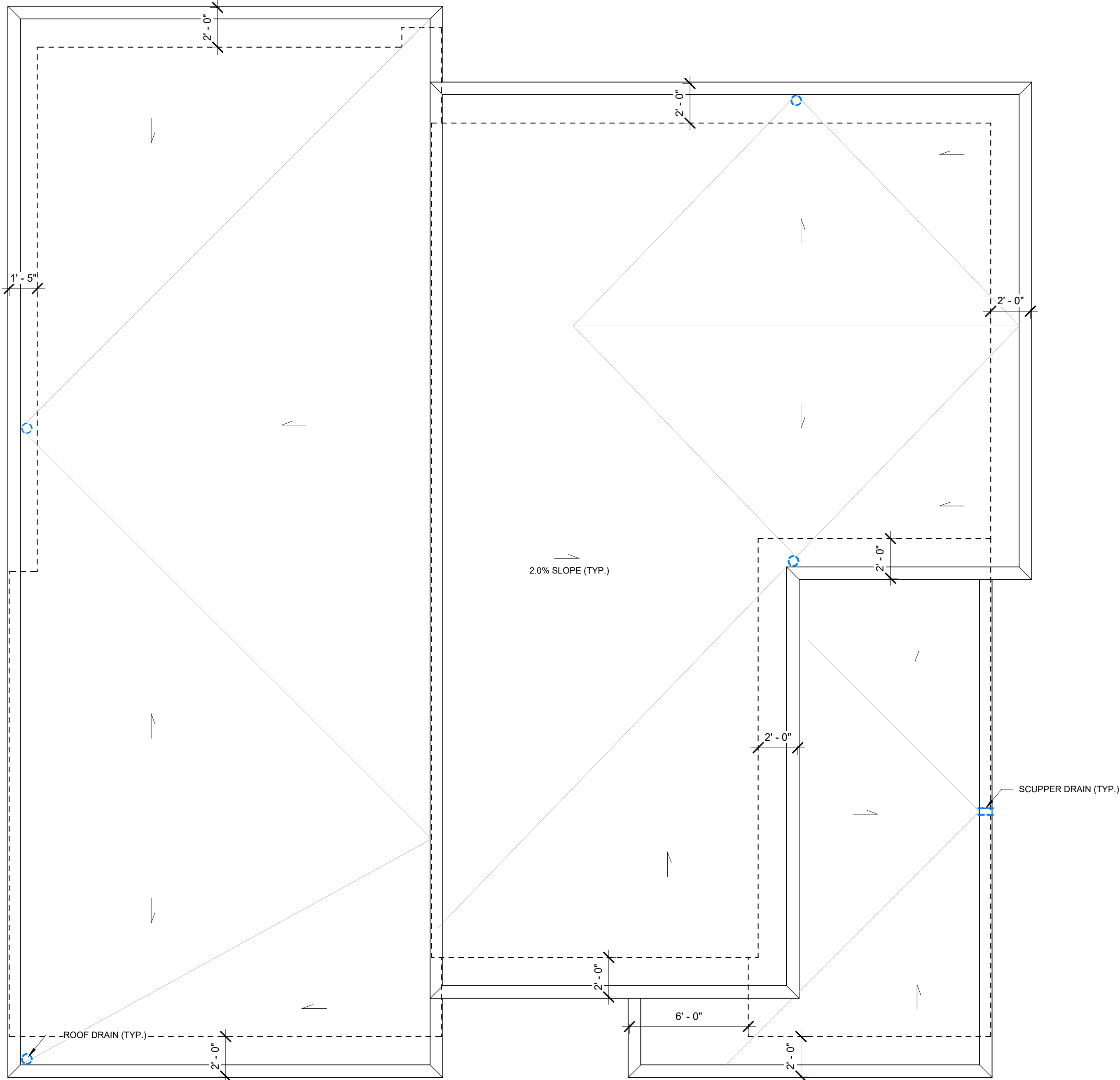
9379 Maryland:
Unit B
2528

ISSUE DATE: 26May12 REV 5

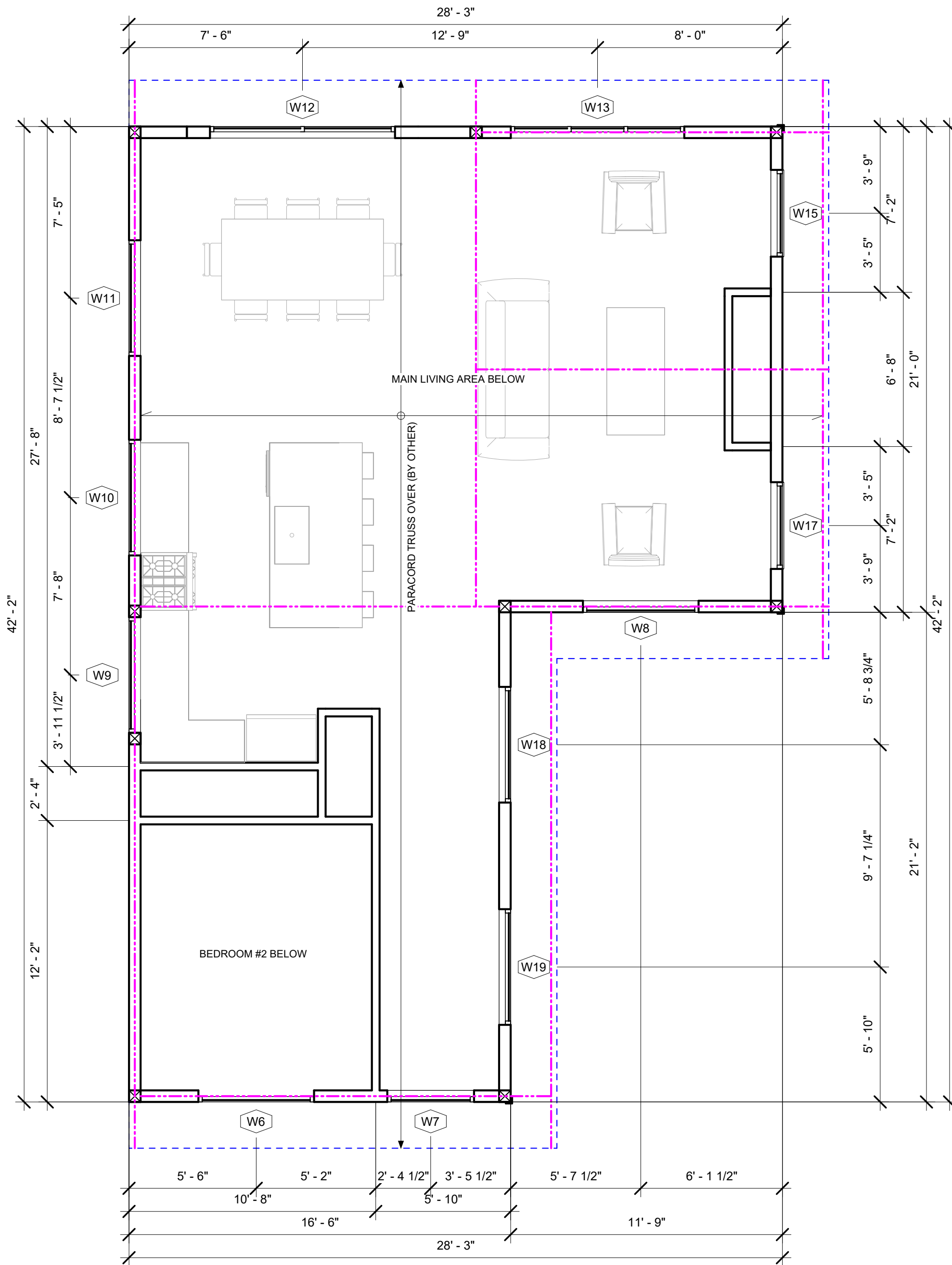
Date:	Description:	No.:
25July04	Concept 1	1
25July25	Issue for Engineering	2
25Oct23	Issue for Eng. Rev.1	3
26Mar03	Issue for Permit	4
26May12	Issue for Permit Rev.1	5

Floor Plans

A1.2



2 Roof Plan
1/4" = 1'-0"

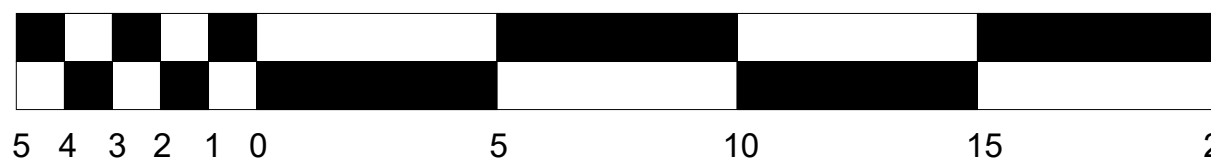


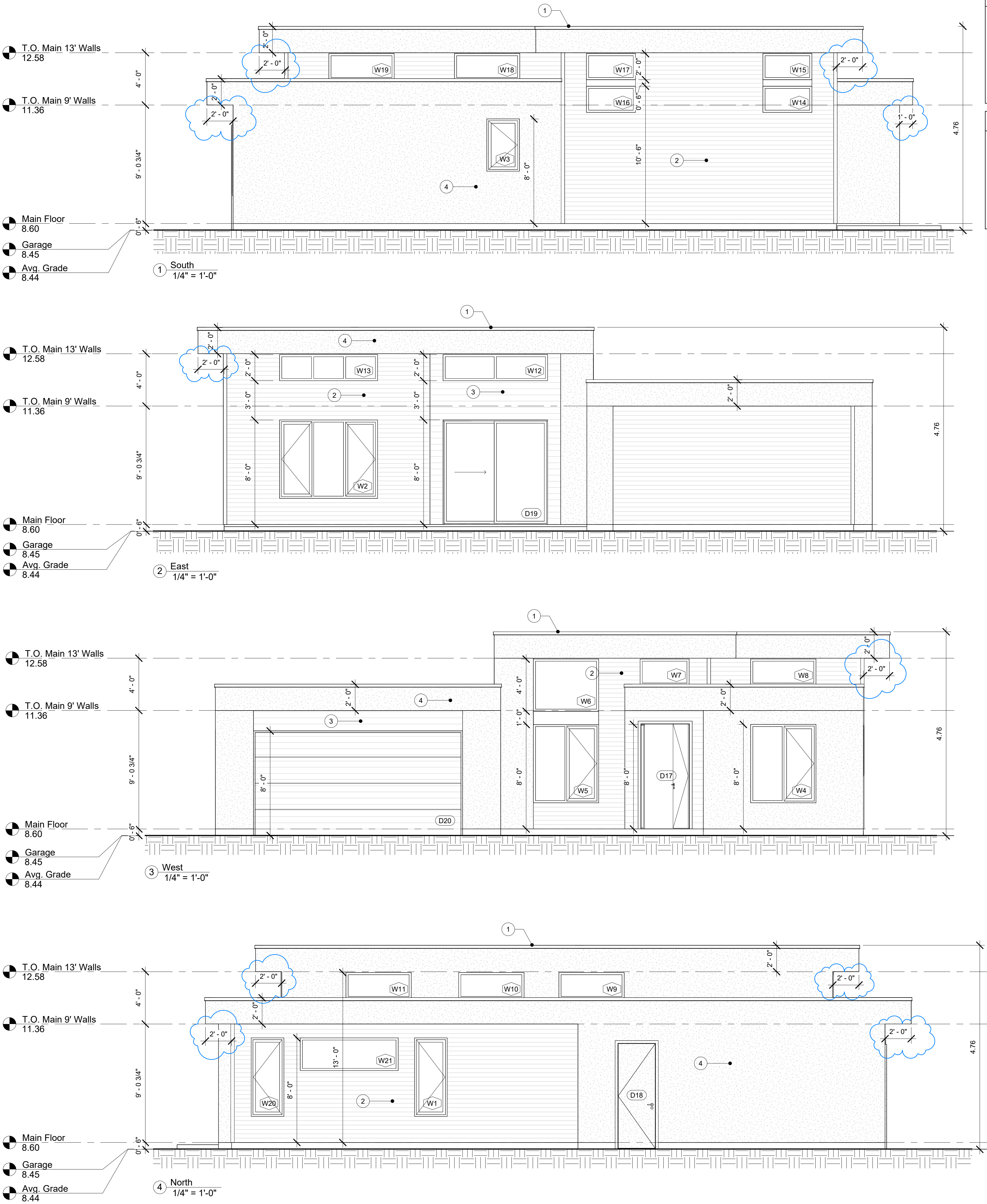
1 Clerestory Window Plan
1/4" = 1'-0"

FLOOR AREA
TOTAL LIVING SPACE: 1780 SF
GARAGE: 493 SF
TOTAL BUILDING SF: 2273 SF

DRAWING SCALE: 1/4" " = 1' - 0"

ALL MEASUREMENTS ARE IN FEET





ELEVATION NOTES LEGEND

1

2-PLY MOD. BIT. ROOFING

2

FIBRE CEMENT LAP SIDING

3

1X6 T&G V-GROOVE WOOD SIDING

4

ACRYLIC STUCCO

EXTERIOR FINISH NOTES

SOFFIT:

TYPICAL EAVE:

VENTED T&G WOOD

GUTTERS:

5" CONTINUOUS ALUMINUM C/W 4" X 3" ALUMINUM DOWNPIPE

CORNER BOARDS:

FIBRE CEMENT LAP SIDING:

T&G WOOD SIDING:

1X4 PAINTED COMB FACE SPF

1X4 WOOD

WINDOW TRIM:

PREFINISHED METAL FLASHING

DOOR TRIMS:

PREFINISHED METAL FLASHING

PLAN LEGEND

WALL

ROOF OVER

FLOOR OVER

DECK OVER

WALL BELOW

POST

FLUSH BEAM OVER

DROP BEAM OVER

GIRDER TRUSS OVER

S/C DETECTOR

DOOR SIZE

WINDOW SIZE

JOIST SPAN DIRECTION

LINE OF INTERIOR VAULT

FRAMING NOTES:

1.

ALL FRAMING TO BE IN ACCORDANCE WITH THE 2024 BC BUILDING CODE

2.

ALL LUMBER TO BE SPF#2 OR BETTER UNLESS NOTED OTHERWISE

3.

4.

5.

6.

7.

8.

9.

WINDOW SCHEDULE - MAIN FLOOR						
WINDOW SCHEDULE IS PROVIDED FOR CONVENIENCE AND REFERENCE ONLY. ALL WINDOW DIMENSIONS PROVIDED ARE FRAME SIZE MEASUREMENTS. ROUGH OPENING DIMENSIONS TO BE AS PER SUPPLIER'S SPECIFICATIONS & SHOP DRAWINGS. Fixed = Fixed Pane TV = Top Vent TTL = Tilt & Turn Left TTR = Tilt & Turn Right RH = Rakehead						
Tag	Width	Height	Head Height	Sill Height	Operation	
W1	2' - 6"	6' - 0"	8' - 0"	2' - 0"	CR	
W2	7' - 6"	6' - 0"	8' - 0"	2' - 0"	CLR	
W3	2' - 6"	4' - 0"	8' - 0"	4' - 0"	CR	
W4	5' - 0"	6' - 0"	8' - 0"	2' - 0"	CR	
W5	5' - 0"	6' - 0"	8' - 0"	2' - 0"	CR	
W6	5' - 0"	4' - 0"	13' - 0"	9' - 0"	FIXED	
W7	3' - 9"	2' - 0"	13' - 0"	11' - 0"	FIXED	
W8	5' - 0"	2' - 0"	13' - 0"	11' - 0"	FIXED	
W9	5' - 0"	2' - 0"	13' - 0"	11' - 0"	FIXED	
W10	5' - 0"	2' - 0"	13' - 0"	11' - 0"	FIXED	
W11	5' - 0"	2' - 0"	13' - 0"	11' - 0"	FIXED	
W12	8' - 0"	2' - 0"	13' - 0"	11' - 0"	FIXED	
W13	7' - 6"	2' - 0"	13' - 0"	11' - 0"	FIXED	
W14	3' - 9"	2' - 0"	10' - 6"	8' - 6"	FIXED	
W15	3' - 9"	2' - 0"	13' - 0"	11' - 0"	FIXED	
W16	3' - 9"	2' - 0"	10' - 6"	8' - 6"	FIXED	
W17	3' - 9"	2' - 0"	13' - 0"	11' - 0"	FIXED	
W18	5' - 0"	2' - 0"	13' - 0"	11' - 0"	FIXED	
W19	5' - 0"	2' - 0"	13' - 0"	11' - 0"	FIXED	
W20	2' - 6"	6' - 0"	8' - 0"	2' - 0"	CL	
W21	7' - 6"	2' - 6"	8' - 0"	5' - 6"	FIXED	
Total Window Count: 21						

DOOR SCHEDULE - MAIN FLOOR						
DOOR SCHEDULE IS PROVIDED FOR CONVENIENCE AND REFERENCE ONLY. ALL SWING DOOR SIZES PROVIDED ARE FINISHED DOOR SLAB DIMENSIONS. FRAME SIZE & ROUGH OPENING DIMENSIONS ARE PER SUPPLIER'S SPECIFICATIONS & SHOP DRAWINGS. DIMENSIONS PROVIDED ARE FRAME SIZE. ROUGH OPENING DIMENSIONS ARE TO BE AS PER SUPPLIER'S SPECIFICATIONS & SHOP DRAWINGS. LH = Left Hand LHR = Left Hand Reverse RH = Right Hand RHR = Right Hand Reverse OH = Overhead X = Sliding Pane F = Fixed Pane P = Pocket Door						
Tag	Width	Height	Head Height	Door Swing	Exterior/Interior	Notes
D1	2' - 8"	8' - 0"	8' - 0"	RHP	Int.	
D2	2' - 10"	8' - 0"	8' - 0"	LH	Int.	
D3	2' - 10"	8' - 0"	8' - 0"	LH	Int.	
D4	2' - 10"	8' - 0"	8' - 0"	RH	Int.	
D5	2' - 10"	8' - 0"	8' - 0"	RHP	Int.	
D6	2' - 6"	8' - 0"	8' - 0"	RH	Int.	
D7	2' - 0"	8' - 0"	8' - 0"	LHR / RHR	Int.	2 x 2080 Closet Door
D8	2' - 10"	8' - 0"	8' - 0"	LHR	Int.	
D9	2' - 10"	8' - 0"	8' - 0"	LH	Int.	
D10	2' - 0"	8' - 0"	8' - 0"	LHR / RHR	Int.	2 x 2080 Closet Door
D11	2' - 6"	8' - 0"	8' - 0"	LHR / RHR	Int.	2 x 2680 Closet Door
D12	2' - 10"	8' - 0"	8' - 0"	RH	Int.	
D13	2' - 0"	8' - 0"	8' - 0"	LHR / RHR	Int.	2 x 2080 Closet Door
D14	2' - 10"	8' - 0"	8' - 0"	RH	Int.	
D15	2' - 10"	8' - 0"	8' - 0"	RH	Int.	
D16	2' - 0"	8' - 0"	8' - 0"	LHR / RHR	Int.	2 x 2080 Closet Door
D17	3' - 9"	8' - 0"	8' - 0"	RH	Ext.	
D18	2' - 10"	8' - 0"	8' - 0"	LHR	Ext.	
D19	8' - 0"	8' - 0"	8' - 0"	XF	Ext.	
D20	16' - 0"	8' - 0"	8' - 0"	OH	Ext.	
Total Door Count: 20						

EAST ELEVATION
SPACIAL SEPARATION

AREA OF EXPOSING BUILDING FACE:

49.9m2

LIMITING DISTANCE:

3.57m

PERCENTAGE OF GLAZED AREA ALLOWABLE:

23.5%

AREA OF GLAZED OPENINGS ALLOWABLE:

11.7m2

AREA OF GLAZED OPENINGS PROPOSED:

11.6m2

PERCENTAGE OF GLAZED AREA PROPOSED:

23.2%

NORTH ELEVATION
SPACIAL SEPARATION

AREA OF EXPOSING BUILDING FACE:

58.6m2

LIMITING DISTANCE:

4.52

PERCENTAGE OF GLAZED AREA ALLOWABLE:

18.0%

AREA OF GLAZED OPENINGS ALLOWABLE:

10.5m2

AREA OF GLAZED OPENINGS PROPOSED:

6.6m2

PERCENTAGE OF GLAZED AREA PROPOSED:

11.3%

SOUTH ELEVATION
SPACIAL SEPARATION 1

AREA OF EXPOSING BUILDING FACE:

50.7m2

LIMITING DISTANCE:

1.22m

PERCENTAGE OF GLAZED AREA ALLOWABLE:

7.0%

AREA OF GLAZED OPENINGS ALLOWABLE:

3.6m2

AREA OF GLAZED OPENINGS PROPOSED:

3.4m2

PERCENTAGE OF GLAZED AREA PROPOSED:

6.7%

SOUTH ELEVATION
SPACIAL SEPARATION 2 (CLERESTORY WALL OVER ENTRY)

AREA OF EXPOSING BUILDING FACE:

7.9m2

LIMITING DISTANCE:

4.8m

PERCENTAGE OF GLAZED AREA ALLOWABLE:

22.0%

AREA OF GLAZED OPENINGS ALLOWABLE:

1.7m2

AREA OF GLAZED OPENINGS PROPOSED:

1.6m2

PERCENTAGE OF GLAZED AREA PROPOSED:

6.7%

WEST ELEVATION
SPACIAL SEPARATION

AREA OF EXPOSING BUILDING FACE:

49.9m2

LIMITING DISTANCE: (TO CL OF ROAD)

10.68m

PERCENTAGE OF GLAZED AREA ALLOWABLE:

100.0%

AREA OF GLAZED OPENINGS ALLOWABLE:

N/A

AREA OF GLAZED OPENINGS PROPOSED:

N/A

PERCENTAGE OF GLAZED AREA PROPOSED:

N/A

FLOOR AREA

TOTAL LIVING SPACE:

1780 SF

GARAGE:

493 SF

TOTAL BUILDING SF:

2273 SF

DRAWING SCALE: 1/4" " = 1' - 0"

ALL MEASUREMENTS ARE IN FEET

5

4

3

2

1

0

5

10

15

20

HOYT
DESIGN CO

201-5325 Cordova Bay Road
Victoria, BC V8Y 2L3
250.999.9893
hello@hoyt.co | www.hoyt.co

- GENERAL NOTES:
1.

All drawings, plans, models, designs, specifications and other documents prepared by Hoyt Design Co (HDC) and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of HDC whether the work is executed or not, and HDC reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
2.
- It is the responsibility of the Contractor to verify all dimensions, elevations, and site conditions as applicable to the project and the proposed work. The Contractor shall notify the Designer of any errors, omissions or discrepancies identified within the drawings prior to commencement of the work. Commencement of construction or any part thereof constitutes acceptance of the drawings, acceptance of the existing site conditions, and means dimensions and elevations have been considered, verified and are acceptable.

3.

4.

PROJECT

9379 Maryland:
Unit B
2528

ISSUE DATE: 26May12 REV 5

No.:	1	2	3	4	5
Description:	Concept 1	Issue for Engineering	Issue for Eng. Rev. 1	Issue for Permit	Issue for Permit Rev. 1
Date:	25July04	25July25	25Oct23	26Mar03	26May12

Elevations

A2.1

GENERAL NOTES:

- All drawings, plans, models, designs, specifications and other documents prepared by Hoyt Design Co (HDC) and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of HDC whether the work is executed or not, and HDC reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
- It is the responsibility of the Contractor to verify all dimensions, elevations, and site conditions as applicable to the project and the proposed work. The Contractor shall notify the Designer of any errors, omissions or discrepancies identified within the drawings prior to commencement of the work. Commencement of construction or any part thereof constitutes acceptance of the drawings, acceptance of the existing site conditions, and means dimensions and elevations have been considered, verified and are acceptable.
- The Contractor shall work with a B.C.L.S. to verify compliant placement, siting and elevation of the proposed building or structures on the property prior to commencing the work. HDC is not responsible for any encroachments with respect to elevation, siting or placement. Any proposed changes with respect to elevation, siting or placement shall be confirmed with a B.C.L.S. prior to execution.
- The Contractor shall engage a Professional Engineer licensed in the Province of BC for the design and field review of all structural components and systems within the work as required by the Authority Having Jurisdiction. Prior to commencement of the work, the Contractor shall notify HDC of any changes to the design required by the Structural Engineer, house manufacturer or other engineered component supplier.

FRAMING NOTES:	
1.	ALL FRAMING TO BE IN ACCORDANCE WITH THE 2024 BC BUILDING CODE
2.	ALL LUMBER TO BE SPF#2 OR BETTER UNLESS NOTED OTHERWISE
3.	ALL EXPOSED EXTERIOR POSTS TO BE 6X6 MIN. ALL LINTELS TO BE 2-PLY 2X10 U.N.O.
4.	ALL EXPOSED EXTERIOR POSTS TO BE 6X6 MIN. ALL LINTELS TO BE 2-PLY 2X10 U.N.O.
5.	ALL CONCRETE TO BE MINIMUM 25MPa AT 28 DAYS
6.	ALL INTERIOR DOORS TO PROVIDE MIN. 2-STUDS E/S AT JAMB FRAMING
7.	TYPICAL DOOR / WINDOW HEAD HEIGHT: 8'
8.	ALL EXPOSED EXTERIOR FRAMING TO BE PRESERVATIVE TREATED LUMBER; FIELD TREAT ALL CUTS
9.	DESIGN LOADS:
10.	SIDNEY: Ss: 1.6kPa Sr: 0.2kPa

PLAN LEGEND	
WALL	
ROOF OVER	
FLOOR OVER	
DECK OVER	
WALL BELOW	
POST	
FLUSH BEAM OVER	
DROP BEAM OVER	
GRIDER TRUSS OVER	
S/C DETECTOR	
DOOR SIZE	
WINDOW SIZE	
JOIST SPAN DIRECTION	
LINE OF INTERIOR VAULT	

NAPS SPECIFICATIONS

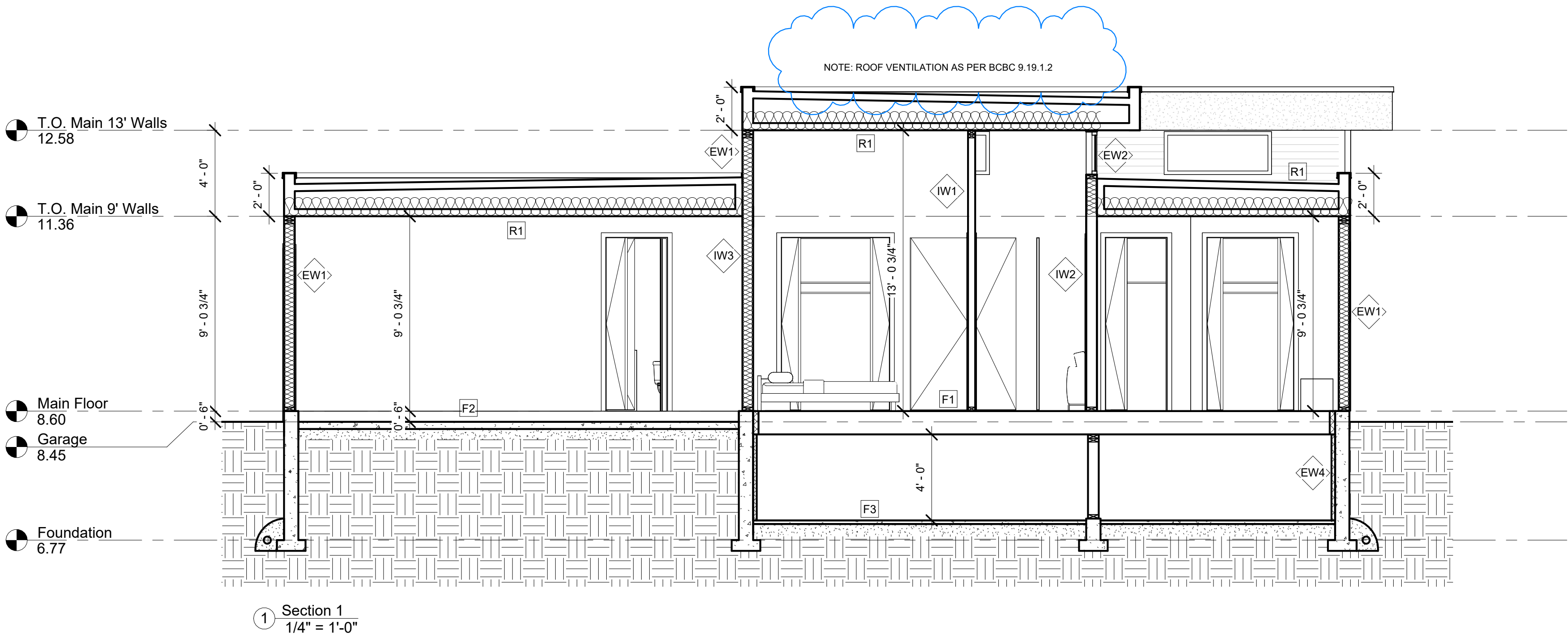
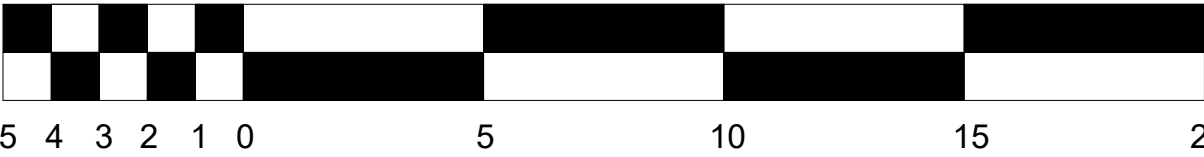
PERFORMANCE GRADE:	40
STRUCTURAL:	1920 Pa
WATER:	360 Pa
AIR:	A2

BCBC 9.36

MAXIMUM U-VALUE FOR FENESTRATION:	1.61 W/(m ² *K)
-----------------------------------	----------------------------

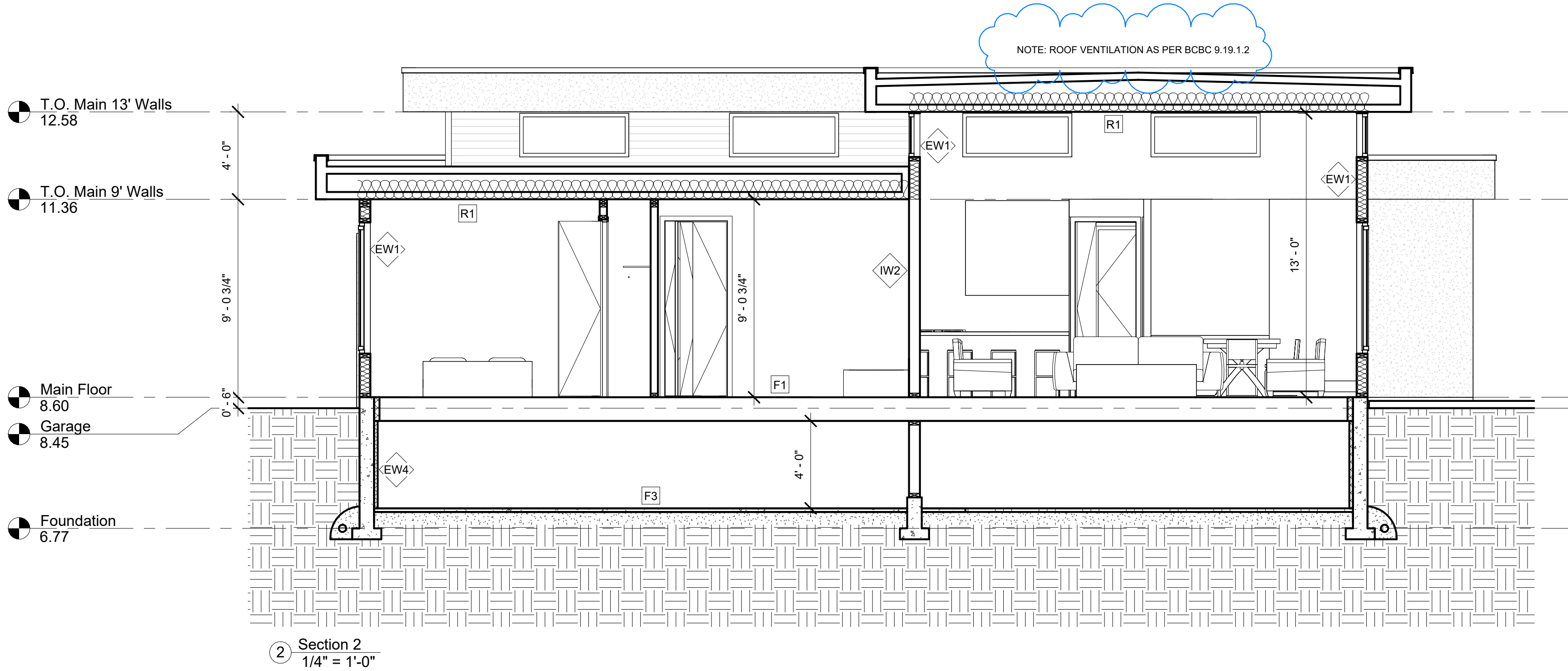
FLOOR AREA
TOTAL LIVING SPACE: 1280.SF
GARAGE: 493 SF
TOTAL BUILDING SF: 2273 SF

DRAWING SCALE: 1/4" " = 1' - 0" ALL MEASUREMENTS ARE IN FEET



ASSEMBLY DESCRIPTIONS (REFER TO STEP CODE 3 COMPLIANCE REPORT FOR FULL ASSEMBLY DETAILS)											
EXTERIOR WALLS		INTERIOR WALLS		FLOOR SYSTEMS	ROOF SYSTEMS						
EW1	EXTERIOR WALL - ACRYLIC STUCCO		IW1	INTERIOR WALL - 2X4 WALL		F1	FLOOR - TYPICAL JOIST FLOOR ASSEMBLY		R3	ROOF - PARACORD TRUSS - FLAT CEILING (LOW SLOPE)	
	1 EXTERIOR AIR FILM			1 FINISH TO OWNERS SPEC.			1 FLOOR FINISH TO OWNERS SPEC			1 2 PLY MOD. BIT. ROOFING	
	2 3-COAT ACRYLIC STUCCO			2 1/2" GYPSUM WALL BOARD			2 5/8" T&G PLYWOOD SUBFLOOR			2 PROTECTION BOARD	
	3 STUCCO RITE			3 2X4 WALL STUDS @ 16" O/C (SPF #2 OR BETTER)			3 ENG. FLOOR JOISTS (BY OTHER)			3 5/8" T&G PLYWOOD ROOF SHEATHING (SLOPED TRUSS)	
	4 1/2" AIR SPACE (FROM RAINSCREEN)			4 1/2" GYPSUM WALL BOARD			4 5/8" GYPSUM CD BOARD			4 EXTERIOR AIR FILM	
	5 1/2" P.T. RAINSCREEN STRAPPING @ 8" O/C CW INSECT SCREEN T&B		IW2	INTERIOR WALL - 2X6 WALL		F2	FLOOR - GARAGE SLAB		R3	5 ENG. ROOF TRUSSES (BY OTHER)	
	6 SYNTHETIC SHEATHING MEMBRANE (A/M BARRIER)			1 FINISH TO OWNERS SPEC.			1 SLOPED POWER TROWEL FINISH			6 LOOSE FILL INSULATION	
	7 1/2" PLYWOOD SHEATHING			2 1/2" GYPSUM WALL BOARD			2 4" CONCRETE S.O.G.			7 6mil POLY A/V BARRIER	
	8 BATT INSULATION			3 2X6 WALL STUDS @ 16" O/C (SPF #2 OR BETTER)			3 6mil POLY A/V/M BARRIER			8 5/8" GYPSUM CD BOARD	
	9 2X6 WALL STUDS @ 16" O/C (SPF #2 OR BETTER)			4 1/2" GYPSUM WALL BOARD			4 COMPACTED SUB-BASE			9 INTERIOR AIR FILM	
	10 1/2" GYPSUM WALL BOARD		IW3	INTERIOR WALL - 2X6 WALL BETWEEN UNHEATED SPACES		F3	FLOOR - CRAWLSPACE GROUND SEAL				
	11 VAPOUR BARRIER PAINT			1 FINISH TO OWNERS SPEC.			1 COMPACTED SUB-BASE				
	12 FINISH TO OWNERS SPECIFICATION			2 1/2" GYPSUM WALL BOARD			2 6mil POLY A/V/M BARRIER				
13 INTERIOR AIR FILM		3 2X6 WALL STUDS @ 16" O/C (SPF #2 OR BETTER)		3 2" GROUND SEAL CONCRETE SLAB							
		4 BATT INSULATION		4 SLOPED HAND TROWEL FINISH							

BCBC 9.32 COMPLIANCE	
HEATING SYSTEM	
HEAT PUMP & AIR HANDLER	
VENTILATION REQUIREMENTS	
KITCHEN AND BATHROOM FANS	
IN ACCORDANCE WITH 9.32.3.6:	
KITCHEN:	INTERMITTENT 47L/S
BATHROOM:	CONTINUOUS 23L/S
PRINCIPAL VENTILATION SYSTEM SUPPLY AIR (9.32.3.4)	
DUCTED FORCED AIR SYSTEM	
PROVIDE SUPPLY AIR TO EACH BEDROOM AND EACH FLOOR LEVEL WITHOUT A BEDROOM	
PRINCIPAL VENTILATION SYSTEM EXHAUST FAN (9.32.3.5)	
TOTAL FLOOR AREA:	165.4m2
NUMBER OF BEDROOMS:	3
PRINCIPAL EXHAUST FAN	
MINIMUM AIR-FLOW RATE PER 9.32.3.4:	28.0L/S
PRINCIPAL VENTILATION SYSTEM EXHAUST FAN:	
BATHROOM FAN	
HEATED CRAWLSPACE VENTILATION (9.32.3.7)	
CRAWLSPACE HEAT SOURCE:	
DUCTED FORCED AIR SYSTEM	
TOTAL CRAWLSPACE AREA:	165.4m2
PROVIDE 1 AIR TRANSFER GRILLE TO FLOOR AREA ABOVE FOR EACH 30m2 of CRAWLSPACE AREA	



PROJECT

9379 Maryland:
Unit B
2528

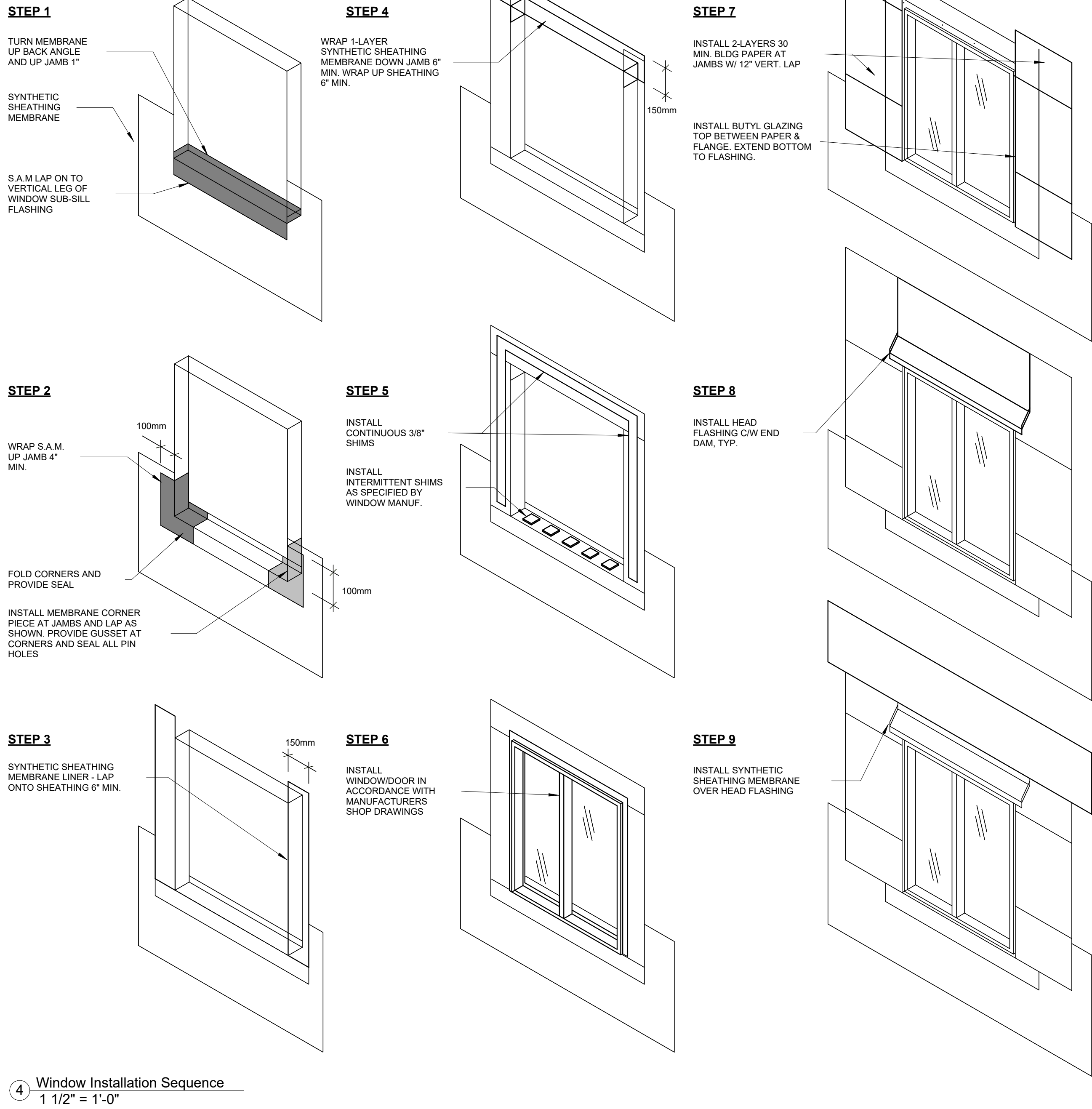
ISSUE DATE: 26May12 REV 5

No.:	Description:
1	Concept 1
2	Issue for Engineering
3	Issue for Eng. Rev.1
4	Issue for Permit
5	Issue for Permit Rev.1

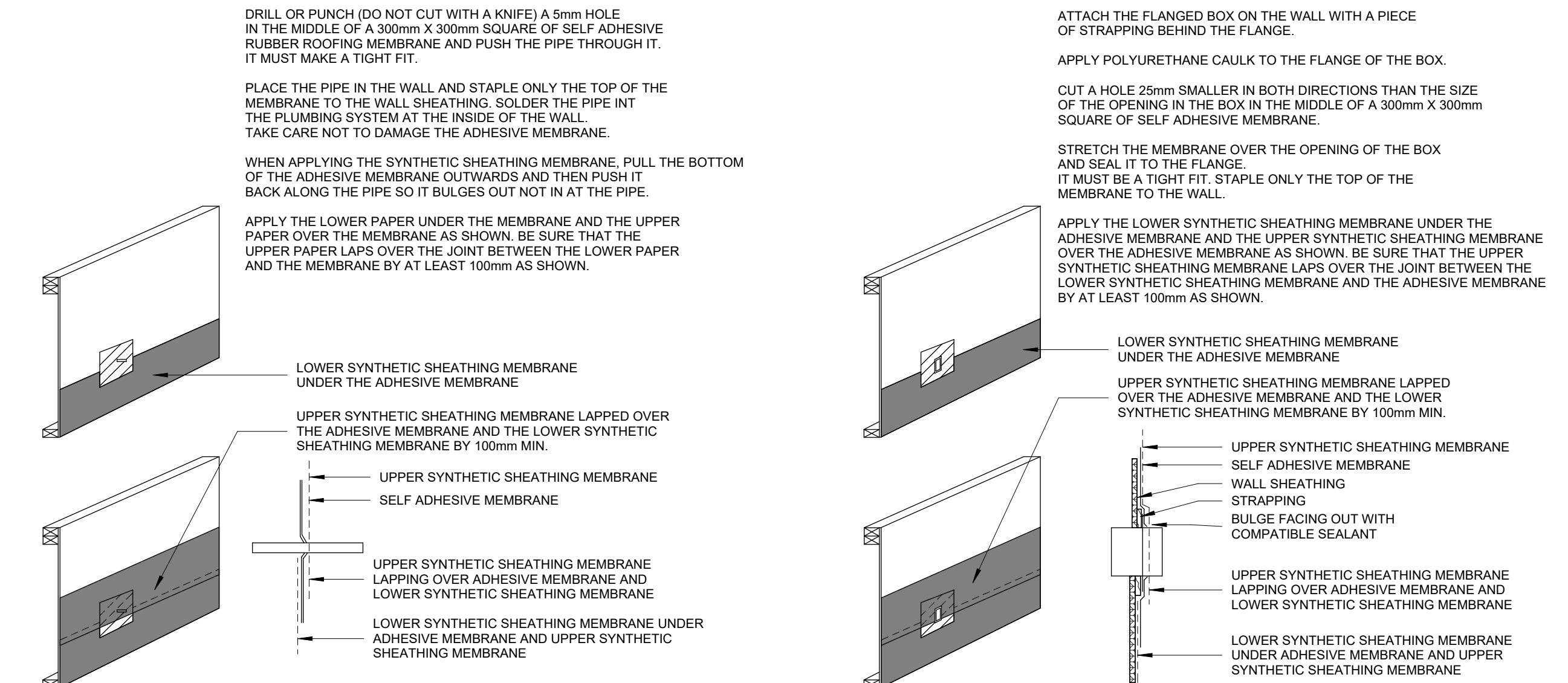
Date:	Description:
25July04	Concept 1
25July05	Issue for Engineering
25Oct03	Issue for Eng. Rev.1
26Mar03	Issue for Permit
26May12	Issue for Permit Rev.1

Sections

A3.1

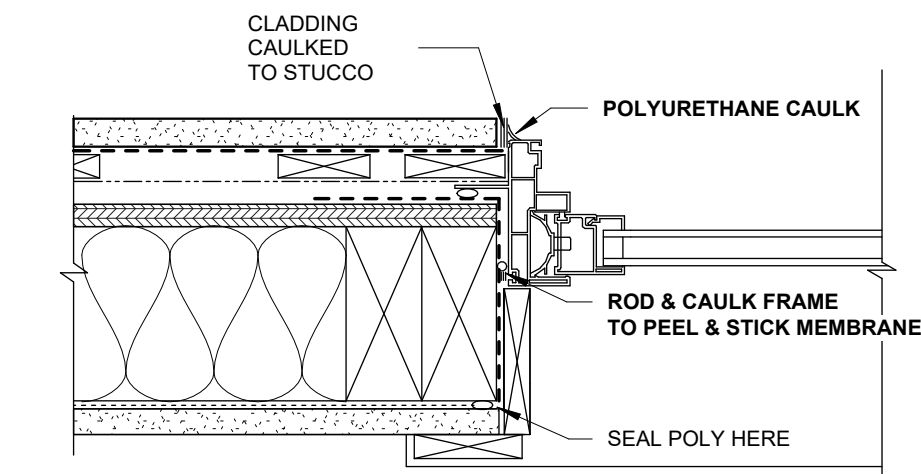


④ Window Installation Sequence
1 1/2" = 1'-0"

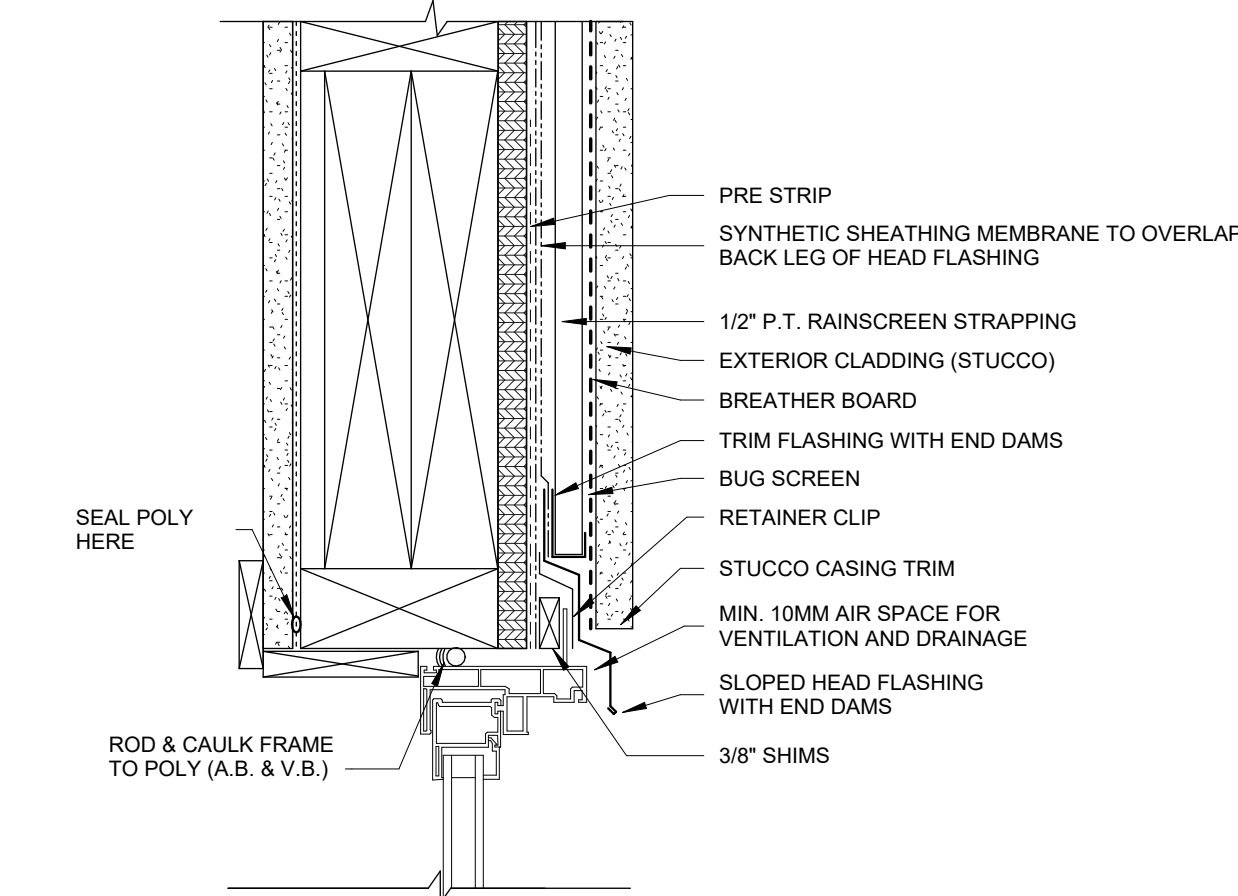


⑦ Hose Bib Penetration Detail
1 1/2" = 1'-0"

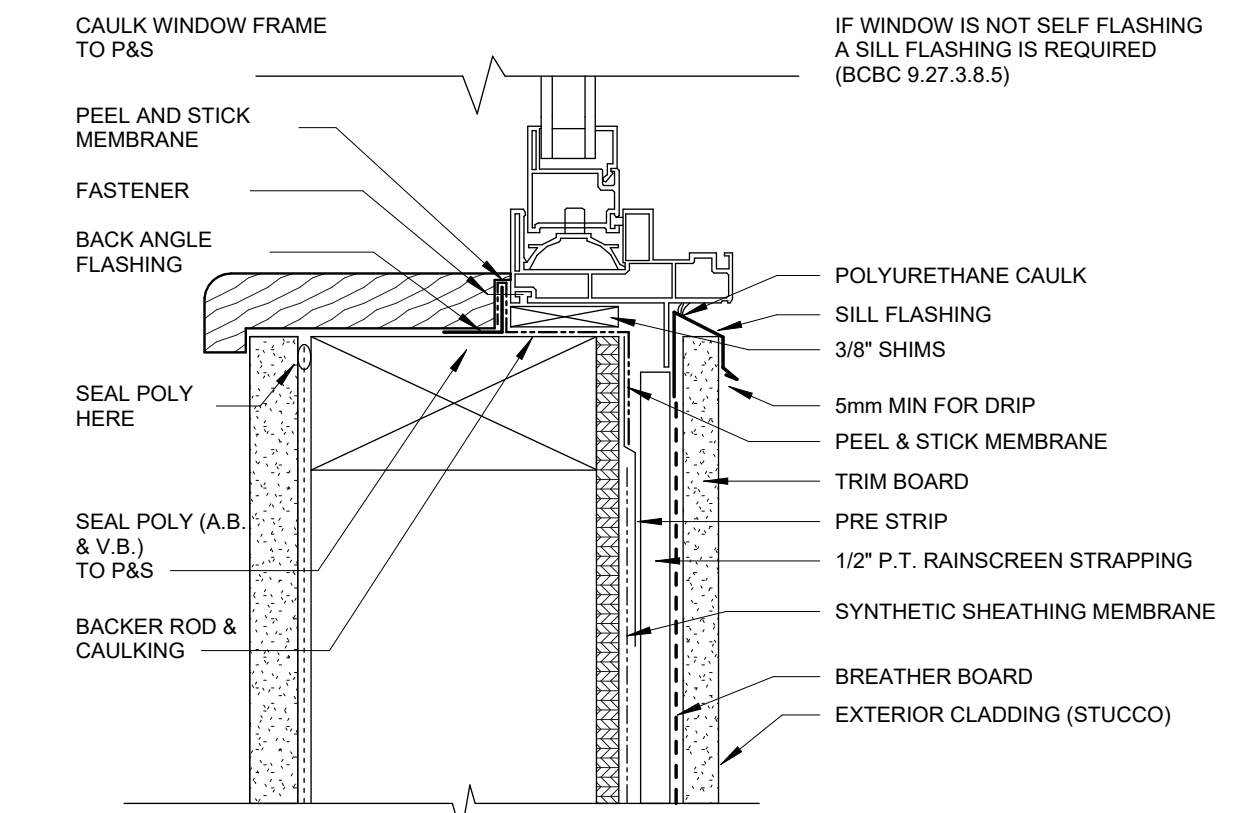
⑥ Electrical Reception Penetration Detail
1 1/2" = 1'-0"



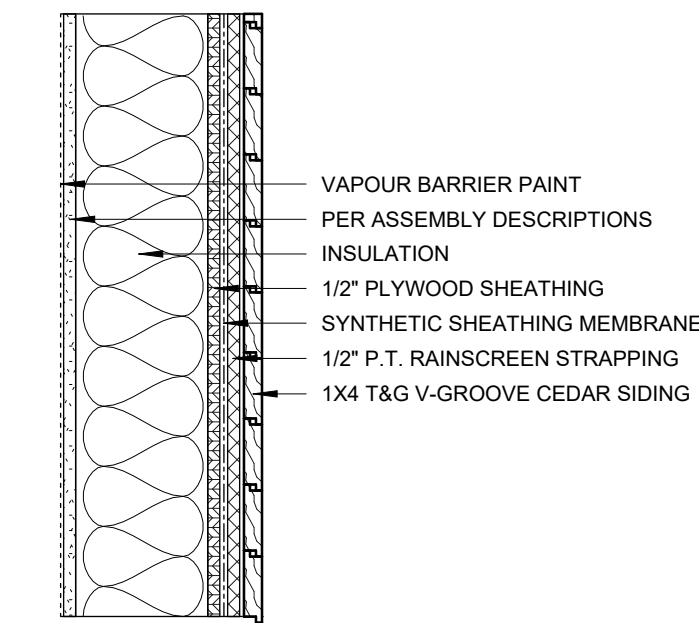
③ Window Jamb Detail - Stucco - No Trim
2" = 1'-0"



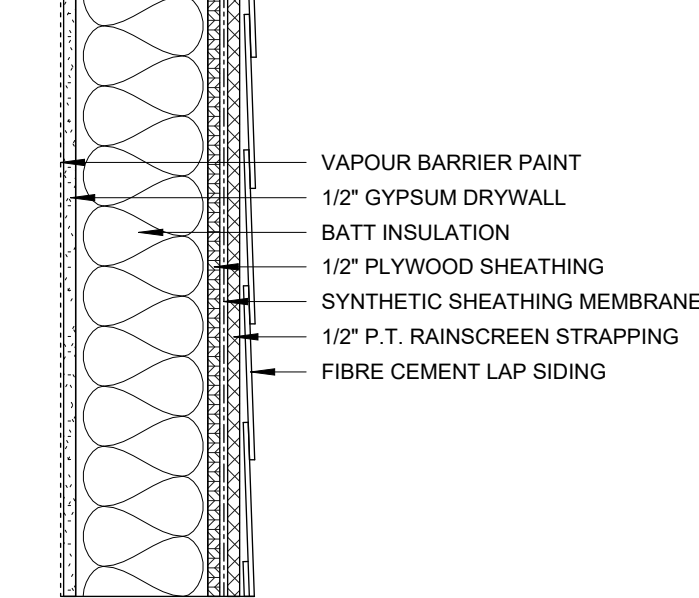
② Window Head Detail - Stucco - No Trim
2" = 1'-0"



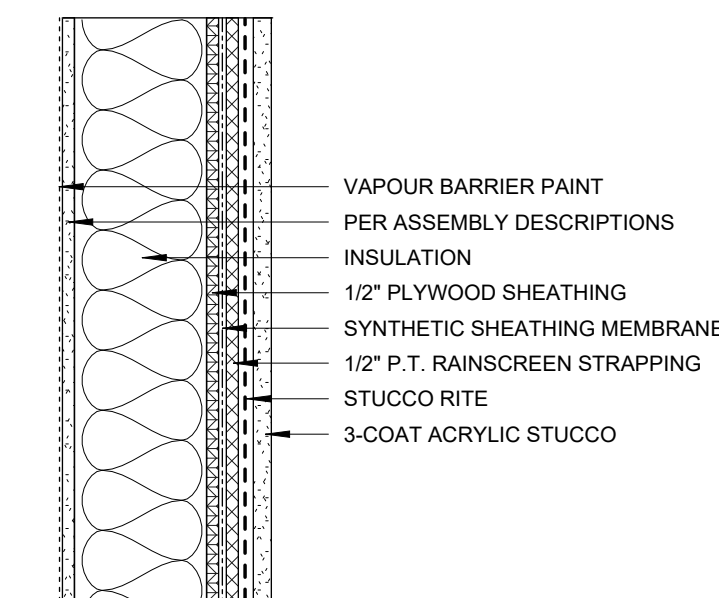
① Window Sill Detail - Stucco - No Trim
2" = 1'-0"



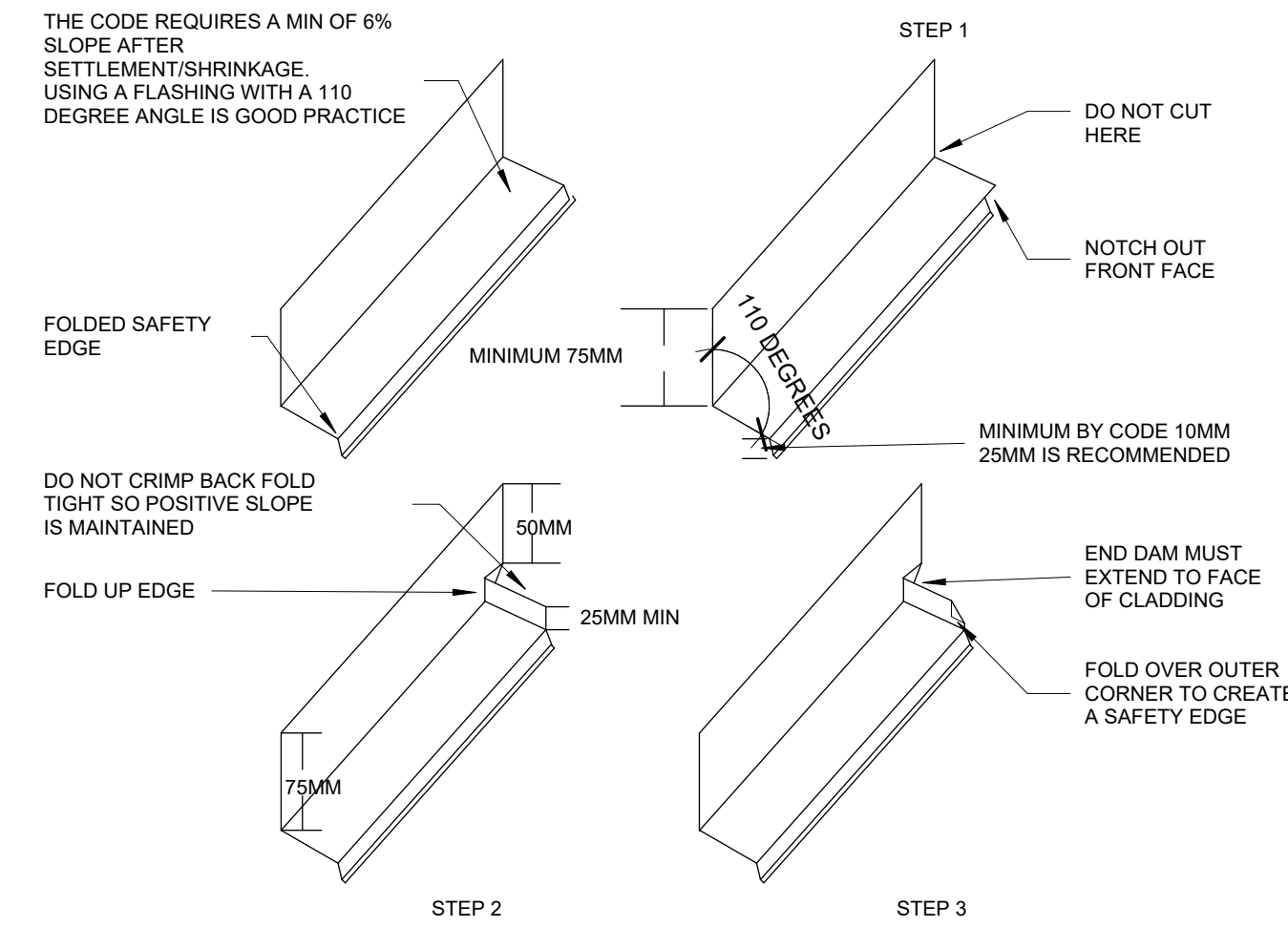
⑪ Wall Assembly - Finline Wood
1 1/2" = 1'-0"



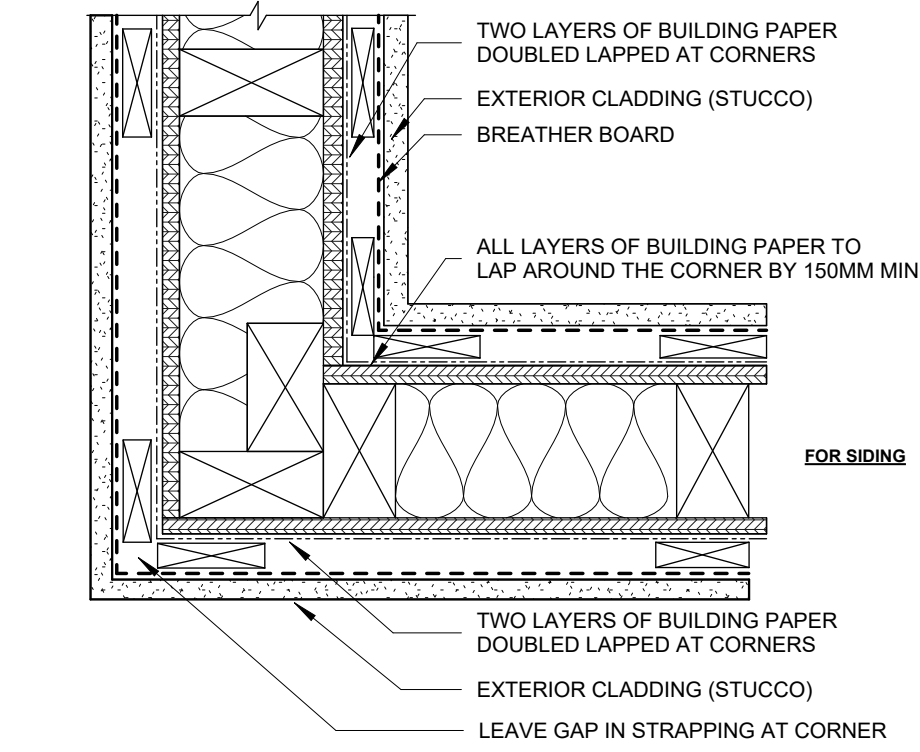
⑫ Wall Assembly - Lap Siding
1 1/2" = 1'-0"



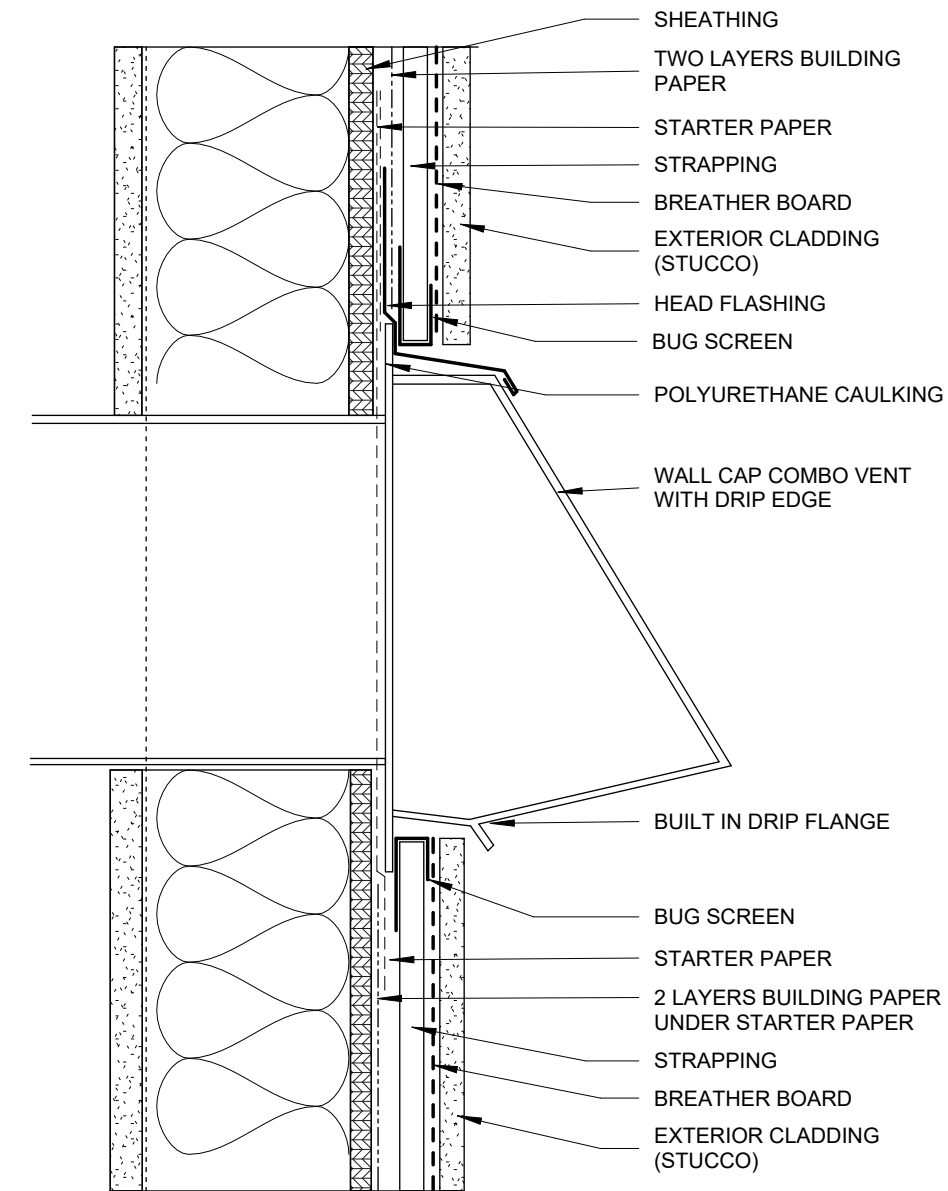
⑬ Wall Assembly - Stucco
1 1/2" = 1'-0"



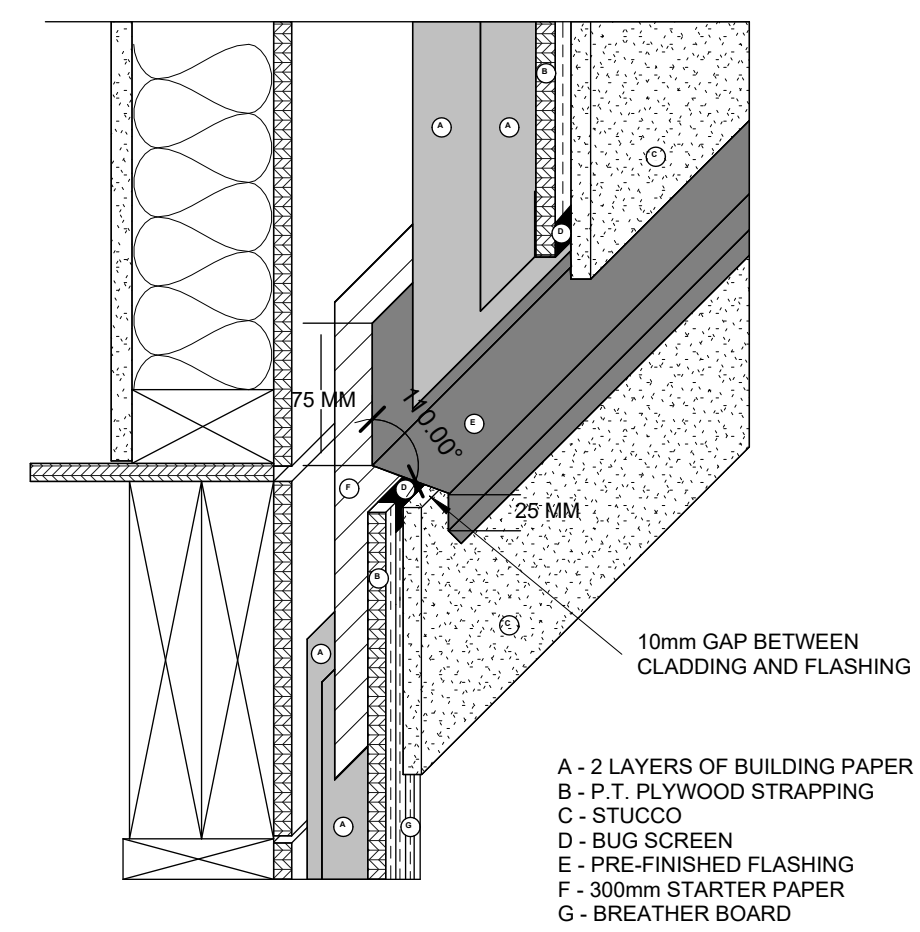
⑨ Typical Flashing With End Dam
1 1/2" = 1'-0"



⑤ Cladding Corner Detail - Stucco
2" = 1'-0"



⑩ Vent Penetration Detail - Stucco
2" = 1'-0"



⑧ Thru Cavity Flashing Detail - Stucco
1 1/2" = 1'-0"

GENERAL NOTES:

- All drawings, plans, models, designs, specifications and other documents prepared by Hoyt Design Co (HDC) and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of HDC whether the work is executed or not, and HDC reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
- It is the responsibility of the Contractor to verify all dimensions, elevations, and site conditions as applicable to the project and the proposed work. The Contractor shall notify the Designer of any errors, omissions or discrepancies identified within the drawings prior to commencement of the work. Commencement of construction or any part thereof constitutes acceptance of the drawings, acceptance of the existing site conditions, and means dimensions and elevations have been considered, verified and are acceptable.
- The Contractor shall work with a B.C.L.S. to verify compliant placement, siting and elevation of the proposed buildings or structures on the property prior to commencing the work. HDC is not responsible for any encroachments with respect to elevation, siting or placement. Any proposed changes with respect to elevation, siting or placement shall be confirmed with a B.C.L.S. prior to execution.
- The Contractor shall engage a Professional Engineer licensed in the Province of BC for the design and field review of all structural components and systems within the work as required by the Authority Having Jurisdiction. Prior to commencement of the work, the Contractor shall notify HDC of any changes to the design required by the Structural Engineer, house manufacturer or other engineered component supplier.

PROJECT

9379 Maryland:
Unit B
2528

ISSUE DATE: 26May12 REV 5

No.:	1	2	3	4	5
Description:	Concept 1	Issue for Engineering	Issue for Eng. Rev. 1	Issue for Permit	Issue for Permit Rev.1
Date:	25July04	25July25	25Oct23	26Mar03	26May12

Details

A4.1